

STATEMENT OF HERITAGE IMPACT

for

PROPOSED DEVELOPMENT AT 62 VERNER STREET GOULBURN

Prepared by

Eric Martin & Associates

For

Goulburn Collective Pty Ltd



10/68 Jardine St
KINGSTON ACT 2604
Ph: 0262606395
Fax: 02 62606413
Email: emaa@emaa.com.au

ISSUE 1
24035
1 March 2024

CONTENTS

1.0	INTRODUCTION	3
2.0	CURRENT LISTING	4
3.0	PROPOSED DEVELOPMENT	7
4.0	COMMENT	8
5.0	CONCLUSION	9

ATTACHMENT 1 DRAWINGS



1.0 INTRODUCTION

It is proposed to replace the existing house at 62 Verner Street with seven units. As the site is within a Conservation Area a Statement of Heritage Impact has been requested to accompany the DA (refer to Figure 1).



Figure 1: Aerial Image of Site and Surrounds

Source: Google Maps <https://www.google.com/maps/place/62+Verner+St,+Goulburn+NSW+2580/@-34.7549127,149.7135158,436m/data=!3m1!1e3!4m6!3m5!1s0x6b16af0336fdebdbd:0x7603cfa34e5ab64a!8m2!3d-34.7547449!4d149.7135972!16s%2Fg%2F11c24hqx6m?entry=ttu> retrieved 6th February 2024

This report was prepared by Eric Martin AM of Eric Martin & Associates.



2.0 CURRENT LISTING

The site is within the Goulburn City Conservation Area (refer to Figure 2).

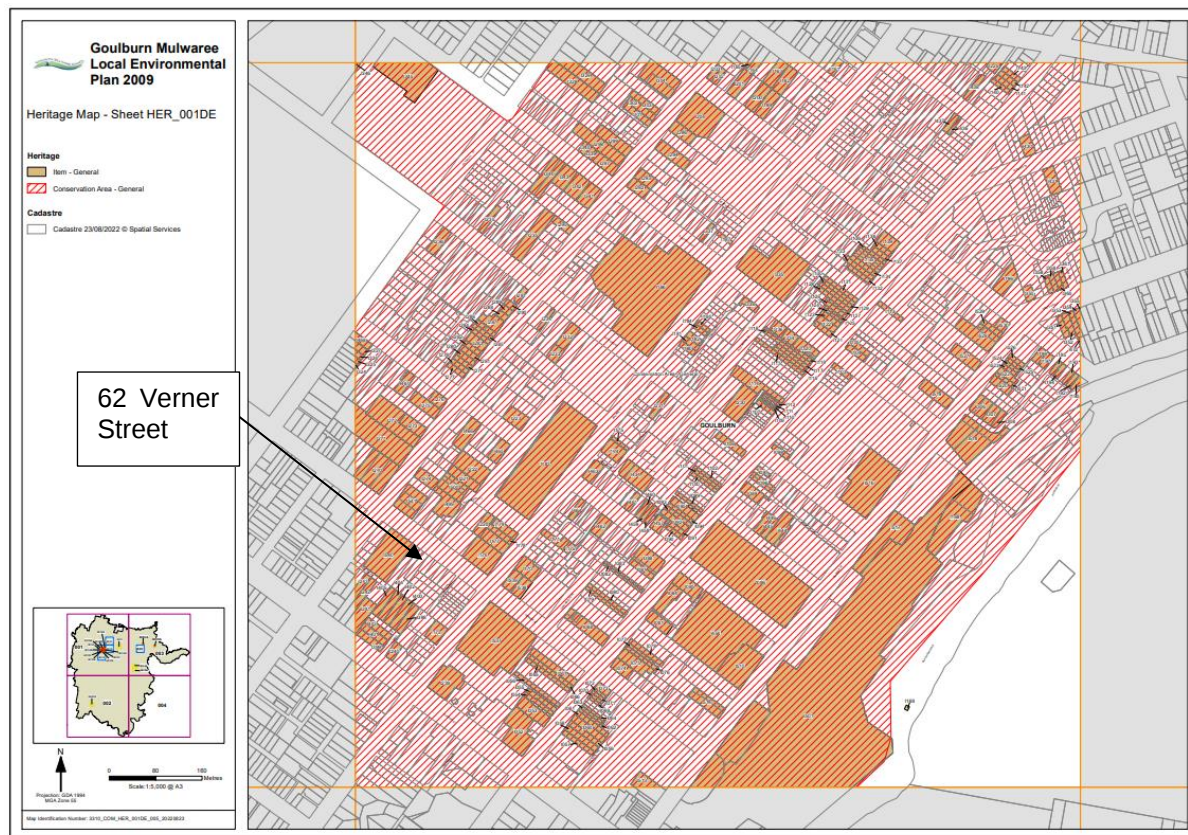


Figure 2: Goulburn City Conservation Area

Source: Goulburn-Mulwaree Local Environment Plan 2009 Heritage Map – Sheet HER_001DE
https://eplanningdlprod.blob.core.windows.net/pdfmaps/3310_COM_HER_001DE_005_20220823.pdf
 retrieved 6th February 2024

The statement of significance of the Conservation area as per the Goulburn-Mulwaree Development Control Plan¹ (DCP) is:

Occupying the outer areas of the original centre of Goulburn, these mainly residential areas developed from the 1880s when the building boom in Goulburn commenced and Goulburn was declared a City.

Like the other parts of Goulburn, these areas include a large number of building types dating from the Victorian and Federation periods reflecting the setting and character of Goulburn as an important regional centre of the time. Although there has been loss and changes to a number of the elements within these areas, the rich and exceptional historical importance of the area is still evident though the extensive numbers of heritage items and contributory buildings.

The areas demonstrate a good diversity of building styles from a variety of periods dating from the Georgian style workers cottages of the early 1850s. The character has been diminished slightly by inappropriate infill development from the 1970s.

The topography of the western area in particular and the wide tree lined streets of the residential area further contribute to the significance of the area.

As indicated in the detail of Figure 3 there are no individual heritage items adjacent the site although there are several in the area.

¹ <https://www.goulburn.nsw.gov.au/files/content/public/development/environment-heritage/heritage/development-control-plan-2009.pdf> retrieved 1st March 2024 section .3.24.4 p 105.





Figure 3: Goulburn City Conservation Area

Source: Goulburn-Mulwaree Local Environment Plan 2009 Heritage Map – Sheet HER_001DE
https://eplanningdlprod.blob.core.windows.net/pdfmaps/3310_COM_HER_001DE_005_20220823.pdf
retrieved 6th February 2024

The relevant controls that apply to the area are the Goulburn-Mulwaree Development Control Plan (DCP) 2009 particularly Section 3.3 General Heritage Item and Conservation Area and are as follows:

Goulburn-Mulwaree DCP²

3.3.1 Context Controls

- A. The side and front setbacks are to be typical of the spacing of buildings both from each other and from the street, such that the rhythm of buildings in the streetscape is retained (Figure 3.1). Current front and side setbacks should be maintained where there is no established setback with nearby buildings.
- B. Except as allowed by “car parking” and “fences” in Sections 3.3.1.2 and 3.3.1.3 below, no new structures should be brought forward of the established street building line.
- C. An adequate curtilage including landscaping, fencing and any significant trees are to be retained.
- D. The established landscape character of the locality including height of canopy and density of boundary landscape plantings should be retained in any new development.
- E. Development in the vicinity of a Heritage item should respect the visual curtilage of that item and protection of views to and from the item.
- F. New developments must respect the existing significance of the streetscape and the vicinity.
- G. Use design elements that exist in the streetscape to guide the design of new structures.
- H. Ensure scale and size of development is compatible with neighbouring development and the streetscape generally.

² <https://www.goulburn.nsw.gov.au/files/content/public/development/environment-heritage/heritage/development-control-plan-2009.pdf> retrieved 1st March 2024 section .3.24.4 p 105.



3.3.10 Multi Dwelling Housing Developments Controls

A. Building bulk is to be minimised through separating out garages under a different roof form, following natural ground levels to avoid abrupt changes of level, and separating large floor areas into separately roofed areas.

B. The first (or leading) unit in a group is to face the primary street frontage and its design should be compatible with the adjoining streetscape.

C. Adequate visual and sound privacy between units achieved by brick party walls between semi-detached units and by having windows that do not face each other.

D. Proposals for multi dwelling housing near heritage items or within heritage conservation areas should include:

- 1) A detailed landscape plan showing fencing, plant species, paving and plot sizes;*
- 2) A schedule of materials and finishes;*
- 3) Scale and form of adjoining development should be reflected in housing design;*
- 4) Show consistency with ground contours;*
- 5) Reflect vertically proportioned traditional window types;*
- 6) Steep pitched roofs;*
- 7) Address the street;.*
- 8) Separate garage roofing;*
- 9) Simple verandah forms; and*
- 10) Not imitate heritage elements.*

3.3.13 Building Form, Scale and Style Controls

A. The scale (including height, bulk, density and number of storeys) of the new work must relate visually to the scale of adjacent buildings which are Heritage items or are located in a Heritage Conservation Area. In this regard, unless it can be clearly demonstrated that greater scale would be appropriate in the individual circumstances, new buildings and additions are to be of the same scale as the surrounding development.

B. New developments should avoid overshadowing of existing heritage items or contributory architecture.

C. Extensions must not visually dominate or compete with the original scale of the existing buildings to which they are added or altered.

D. New buildings must not visually dominate, compete with or be incompatible with the scale of existing buildings of heritage significance or contributory value either on the site or in the vicinity of the proposal (Figure 3.6).

E. New buildings and extensions should have a similar massing, form and arrangement of parts to existing buildings of heritage significance in any Heritage Conservation Area. See Figure 3.7 for development that does not respect the massing and form.

F. New work and extensions should respect the proportions of major elements of significant existing fabric including doors, windows, openings and verandahs (Figure 3.8).

G. More specifically:

- 1) Where buildings or dwellings are single storey, second storey additions are not encouraged;*
- 2) Creation of attic space within the existing roofline is preferred;*
- 3) Existing rooflines may be extended to the rear and dormers may be added to the extension, provided development does not impact negatively on the streetscape;*
- 4) Additions at the side of the house may be acceptable providing it is setback a minimum of 5 metres from the front building line and softened by planting and vegetation.*



The other controls are the LEP 2009 Section 5.10 Heritage Conservation which has as its objectives (1) and (4) effect of proposed development on heritage significance as follows:

(1) **Objectives** The objectives of this clause are as follows -

- (a) To conserve the environmental heritage of Goulburn Mulwaree,
- (b) To conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) To conserve archaeological sites,
- (d) To conserve Aboriginal objects and Aboriginal places of heritage significance.

(4) **Effect of proposed development on heritage significance** The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

3.0 PROPOSED DEVELOPMENT

The proposed development is to construct seven units on the site and relocate the driveway to the eastern side (refer to Figure 4 and Figure 5) with other drawings in Attachment 1.

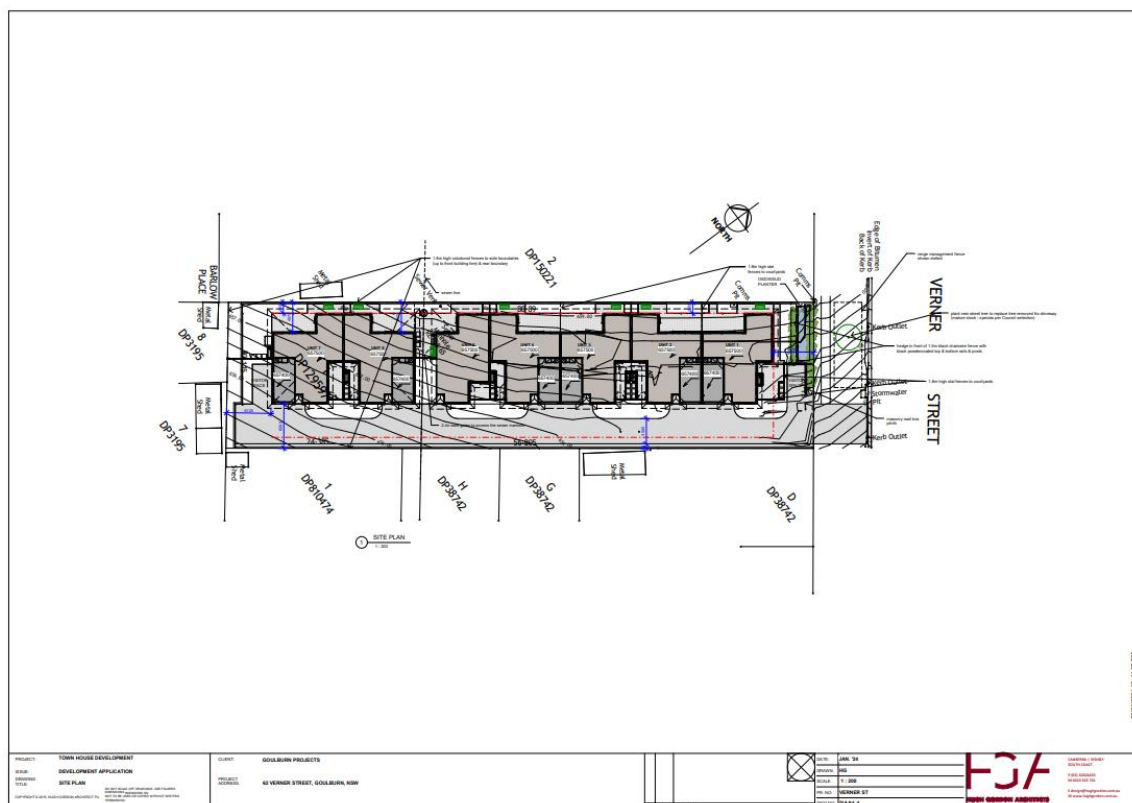


Figure 4: Site Plan
Source: Hugh Gordon Architects





Figure 5: ISO Views
Source: Hugh Gordon Architects

4.0 COMMENT

The set back of the new development is similar to adjacent houses (refer to DA02.1).

One smaller tree is removed from the verge area and a new tree is planted where the existing verge crossing is located (refer to Figure 7)

There are a few trees on the existing site with the only notable one being in front of the existing house and it is removed (refer to Figure 6).



Figure 6: IMG_1697

Source: Eric Martin & Associates



Figure 7: IMG_1708

Source: Eric Martin & Associates

A power pole will need to be relocated.



The view from the street (refer to DA07.1) will be similar to a single dwelling.

The new building is cut substantially into the site so the final height will be lower than the existing house.

The site coverage is extensive and space for landscape is restricted.

The existing house would appear of little architectural significance so its demolition has little impact on heritage values of the conservation area.

In the context of the DCP controls of conservation areas the following comments are made:

- The visual setting will change but the new units will have little impact on the streetscape. One tree is replaced in the verge. A main tree in the front is removed. The architecture is new but scale and form is sympathetic to the area.
- Front setbacks respect adjacent properties.
- Side setbacks are small but not dissimilar to adjacent properties.
- The space for landscaping is limited.
- There are no heritage items in the vicinity that are affected.
- The existing house generally contributes to the area and the new house is not inconsistent with the general scale and form of the existing area within the streetscape.
- The garages are integrated with the roof of the new building.
- There is an existing verandah across the street front of the existing house but the new design retains only a verandah in part. The design is simple and simpler than the existing.

5.0 CONCLUSION

The new development will have an impact initially with the replacement of a street tree and loss of a tree in front of the existing house.

The design is not inconsistent with the form and scale of houses in the area and will have little impact on heritage values.

The loss of an early constructed house and reduced landscape opportunities will have some impact.

Overall, the proposed development will have little impact on the heritage values of the conservation area.



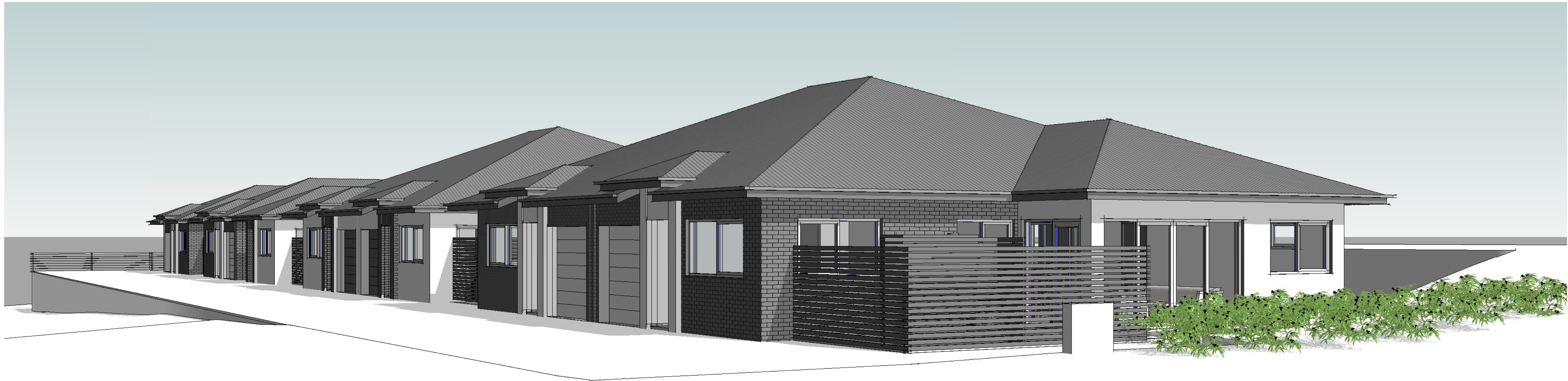
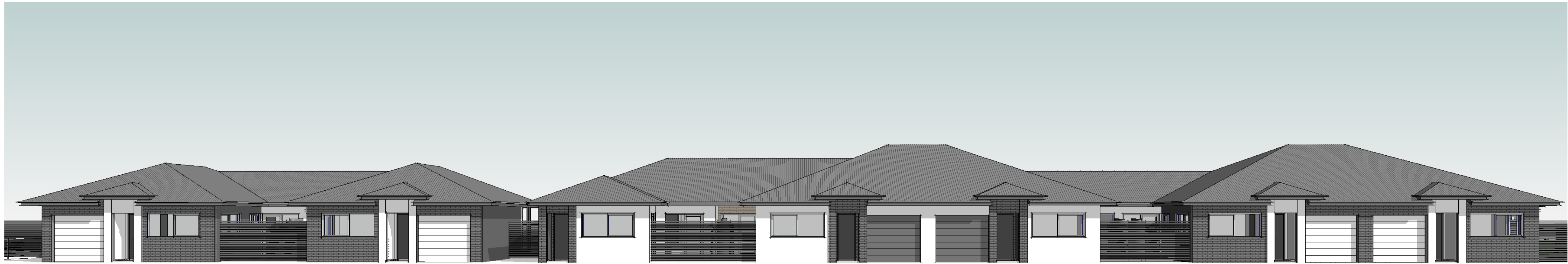
ATTACHMENT 1 DRAWINGS



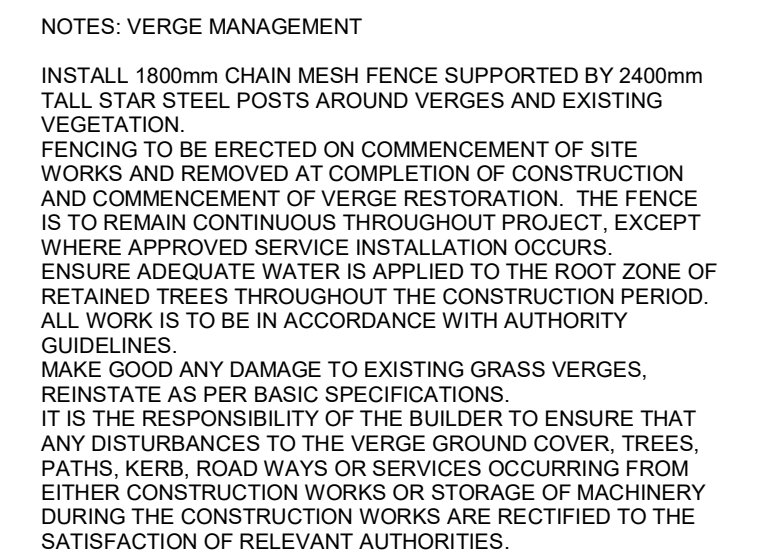
TOWN HOUSE DEVELOPMENT

62 VERNER STREET, GOULBURN, NSW

DA01.1	TITLE SHEET	DA15.1	ROOF PLAN
DA02.1	SITE ANALYSIS PLAN	DA16.1	AREA PLANS
DA03.1	DEMOLITION PLAN	DA17.1	SEDIMENT & EROSION CONTROL PLAN
DA04.1	SITE PLAN		
DA05.1	LANDSCAPE PLAN		
DA06.1	GROUND FLOOR PLAN		
DA07.1	ELEVATIONS & SECTION		
DA11.1	ISO VIEWS		
DA12.1	ISO VIEWS		



Water meter to be
staked and
parawebbed



HATCHED & DASHED AREAS INDICATES ITEMS & STRUCTURES TO BE DEMOLISHED

EXISTING SERVICES: ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED THROUGH TEMPORARY SUPPLY (MAINTAIN METER). SEWERAGE AND STORMWATER TO BE CAPPED OFF WHERE REQUIRED. WATER SUPPLY TO BE CAPPED OFF WHERE NECESSARY TO ALLOW FOR CONSTRUCTION. TELEPHONE LINE TO BE RELOCATED IF NECESSARY TO TELSTRAS REQUIREMENTS

MAINTAIN AND PROTECT CONSTRUCTION AND
PROPERTY ON ADJOINING BLOCKS FROM DEMOLITION
ACTIVITIES

DISPOSE OF ALL DEMOLITION MATERIALS AND RUBBISH
IN A MANNER ACCEPTABLE TO THE AUTHORITIES.

PROPOSED METHOD : DISMANTLE ROOF, TRIMMER TRUSSES AND TIMBER BEAMS FOR SALVAGE AND RE-USE. REMOVAL OF ALL GLASS AND WINDOWS FOR RE-USE. BRICK WALLS TO BE DISMANTLED BY HAND AND SOLD. ANY BROKEN REMAINS TO BE CRUSHED FOR RECYCLING. INTERNAL GYPROC WALLS AND FRAMES TO BE DISMANTLED BY HAND AND TAKEN TO TIP. THE REMAINS WOULD THEN BE MADE UP OF CONCRETE SLABS, VERANDAHs, CONCRETE DRIVEWAYS AND CARPARKING. THIS WOULD BE DELIVERED TO CANBERRA RECYCLERS AT PIALLIGO FOR RECYCLING.

POLLUTION CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND THE REQUIREMENTS OF THE AUTHORITIES.

ASBESTOS FIBRO SHEET WHERE ENCOUNTERED WILL BE DISPOSED OF BY A LICENCED ASBESTOS REMOVING CONTRACTOR ACCORDING TO AUTHORITY STANDARDS.

VEGETATION - TREES TO BE REMOVED ARE TO BE
DISPOSED IN ACCORDANCE WITH REQUIREMENTS OF
THE AUTHORITIES.

PROJECT ADDRESS: **62 VERNER STREET, GOULBURN, NSW**

issue	date	amendment
-------	------	-----------

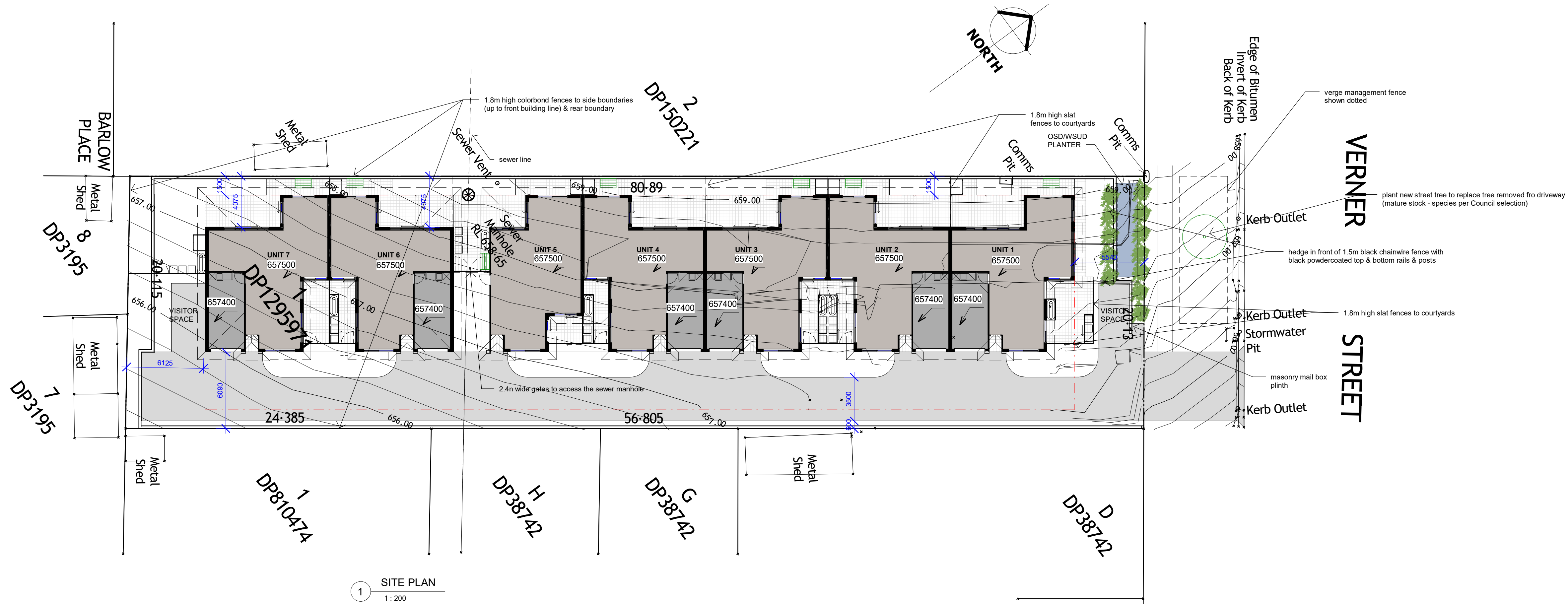
	DATE:	JAN. '24
	DRAWN:	HG
	SCALE:	1 : 200
	PR. NO:	VERNER ST
	DWG NO:	DA03.1



SYDNEY | MELBOURNE | ADELAIDE
SOUTHERN COAST

(02) 62626433
M 0410 625 701

design@hughgordon.com.au
W www.hughgordon.com.au

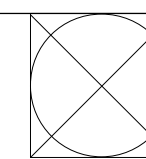


PROJECT: TOWN HOUSE DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: SITE PLAN

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 62 VERNER STREET, GOULBURN, NSW

issue date amendment



DATE: JAN. '24
DRAWN: HG
SCALE: 1 : 200
PR. NO: VERNER ST
DWG NO: DA04.1

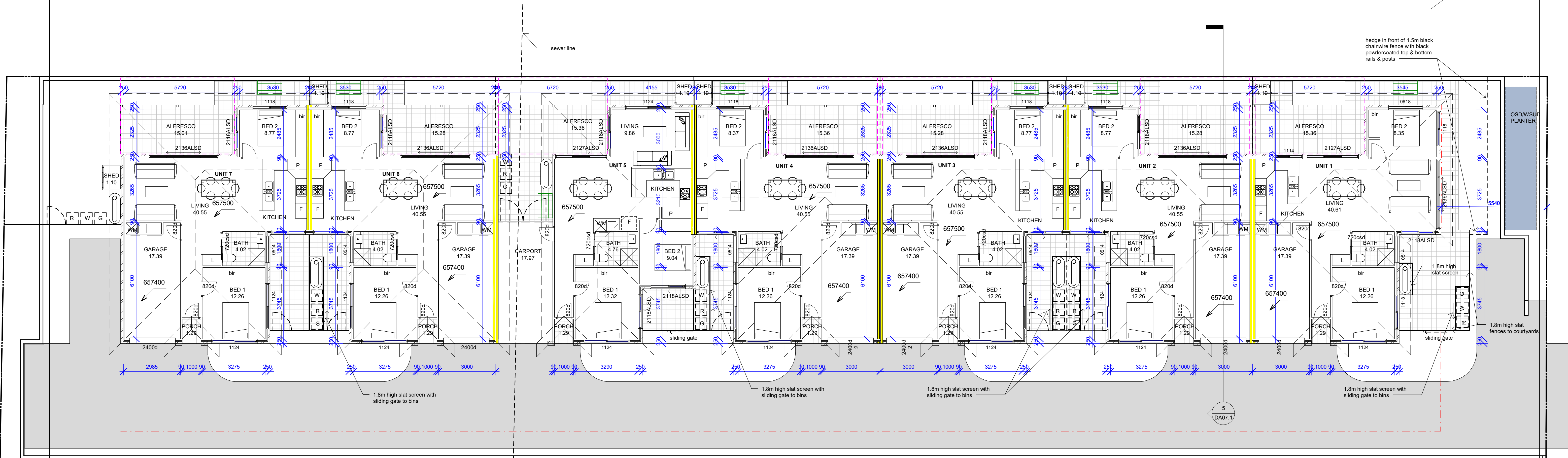
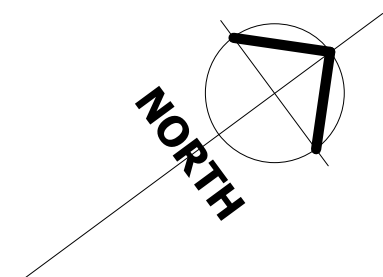
HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

26/01/2024 12:44:33 PM

Plant Schedule		Trees to be semi-mature stock
Code	Name	Common
<u>Shrubs and Groundcovers</u>		
Lm	Liriope muscari	Liriope
Ptp	Phormium tenax 'Purpurea'	Purple Flax
Pjs	Pittosporum 'James Stirling'	Pittosporum

[illegible]



1 GROUND FLOOR PLAN
1 : 100

PROJECT: TOWN HOUSE DEVELOPMENT

ISSUE: DEVELOPMENT APPLICATION

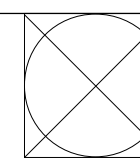
DRAWING TITLE: GROUND FLOOR PLAN

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS

PROJECT ADDRESS: 62 VERNER STREET, GOULBURN, NSW

issue date amendment



DATE: JAN. '24

DRAWN: HG

SCALE: 1 : 100

PR. NO: VERNER ST

DWG NO: DA06.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST

P (02) 62626433
M 0410 625 701

E design@hughgordon.com.au
W www.hughgordon.com.au

26/01/2024 12:44:34 PM

COLOUR SCHEDULE

- SURFMIST WHITE RENDER OR FOAM CLADDING
- GREY FACE BRICK
- MONUMENT GREY METAL ROOF/GUTTER CLADDING

MONUMENT GREY SHED CLADDING

Colour Schedule
1 : 200

1 NORTH EAST ELEVATION
1 : 100

2 SOUTH WEST ELEVATION
1 : 100

3 NORTH WEST ELEVATION
1 : 100

4 SOUTH EAST ELEVATION
1 : 100

5 SECTION A
1 : 100

NOTES & GENERAL CONDITIONS

ALL CONSTRUCTION IN ACCORDANCE WITH BCA AND RELEVANT SAA CODES

COMPLETE THE WORKS WITHIN THE CONTRACT PERIOD IN ACCORDANCE WITH THE DRAWINGS.

COMPLY WITH REGULATIONS AND BY-LAWS OF AUTHORITIES WITH JURISDICTION OVER THE WORKS AND INCLUDING THOSE RELATING TO WATER SUPPLY, GAS, SEWERAGE, HEALTH AND ELECTRICITY. GIVE ALL NOTICES AND PAY ALL FEES REQUIRED BY THE AUTHORITIES.

WORK SHOWN OR DESCRIBED ON THE DRAWINGS OR IN THE SCHEDULE IS TO BE CARRIED OUT WHETHER DRAWN AND NOT SPECIFIED OR VICE VERSA. THE REQUIREMENTS OF REGULATIONS TAKE PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS, PRODUCING SHOP DRAWINGS OR FABRICATING COMPONENTS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR DECISION BEFORE PROCEEDING WITH WORK.

WRITTEN DIMENSIONS ARE IN MILLIMETERS AND TAKE PRECEDENCE OVER SCALED ONES

BUILDER TO CHECK WINDOW DIMENSIONS BEFORE ORDERING

GROUND LINES SHOWN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED ON SITE

LINTELS TO TRUSS MANUFACTURERS TABLES, NEW TIMBER ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.

CONCRETE SLABS AND FOOTINGS TO AS. 2870-1998 ENGINEERING OPTION ADOPTED. ALL FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND. TERMITE PROTECTION TO COMPLY WITH AS.1694 'PHYSICAL BARRIERS' & AS. 3660 'APPENDIX D' AND TO ACT BUILDING CONTROL. BUILDING NOTE NO.3, FRAMING TO AS. 1684-1992 'NATIONAL TIMBER FRAMING CODE' AND SUPPLEMENTS. HARDWOOD TO AS.3000, BRICKWORK TO AS.3700 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE'. STRUCTURAL STEEL TO AS.1170 & AS.4100, SMOKE ALARMS TO AS.3786, WET SEAL TO AS.3740, PLUMBING TO AS3500.

STEEL FRAMED DOORS & WINDOWS TO AUSTRALIAN STANDARDS. USE STANDARD SIZED DOORS WHERE POSSIBLE

ENGINEERING DOCUMENTATION TAKES PRECEDENCE OVER ARCHITECTURAL STRUCTURAL SIZINGS.

GRADE SITES TO ALLOW FOR SURFACE DRAINAGE

SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS 3786-1993

26/01/2024 12:44:38 PM

PROJECT: TOWN HOUSE DEVELOPMENT

ISSUE: DEVELOPMENT APPLICATION

DRAWING TITLE: ELEVATIONS & SECTION

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS

PROJECT ADDRESS: 62 VERNER STREET, GOULBURN, NSW

DATE: JAN. '24

DRAWN: HG

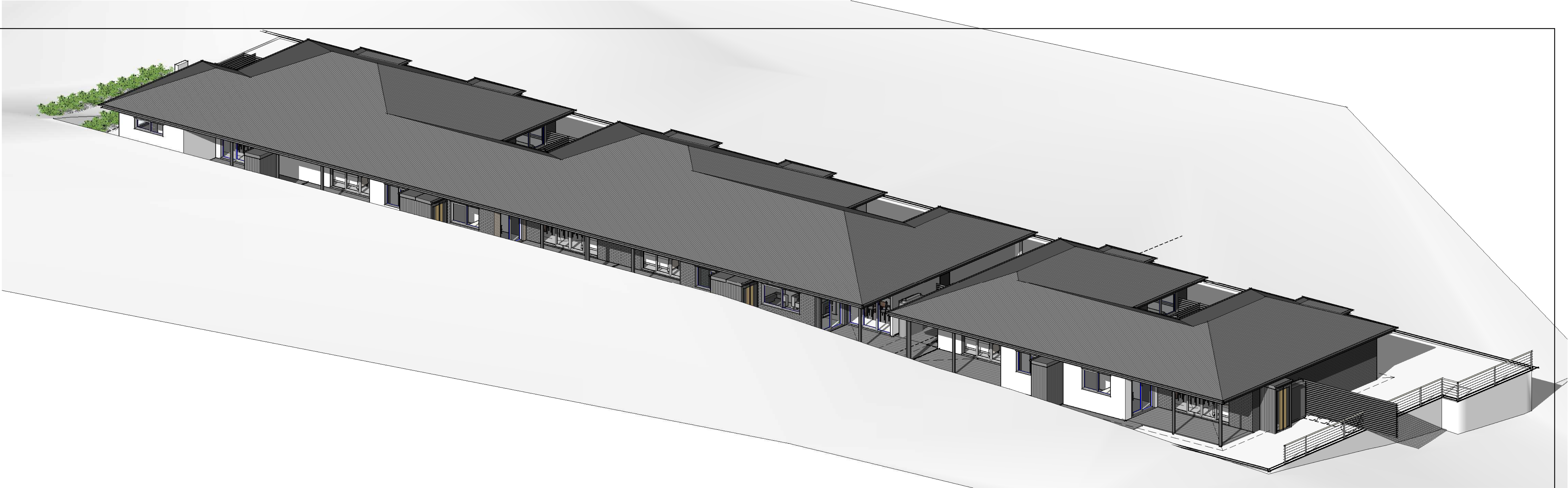
SCALE: As indicated

PR. NO: VERNER ST

DWG NO: DA07.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

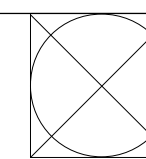


PROJECT: **TOWN HOUSE DEVELOPMENT**
ISSUE: **DEVELOPMENT APPLICATION**
DRAWING TITLE: **ISO VIEWS**

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: **GOULBURN PROJECTS**
PROJECT ADDRESS: **62 VERNER STREET, GOULBURN, NSW**

Issue date amendment

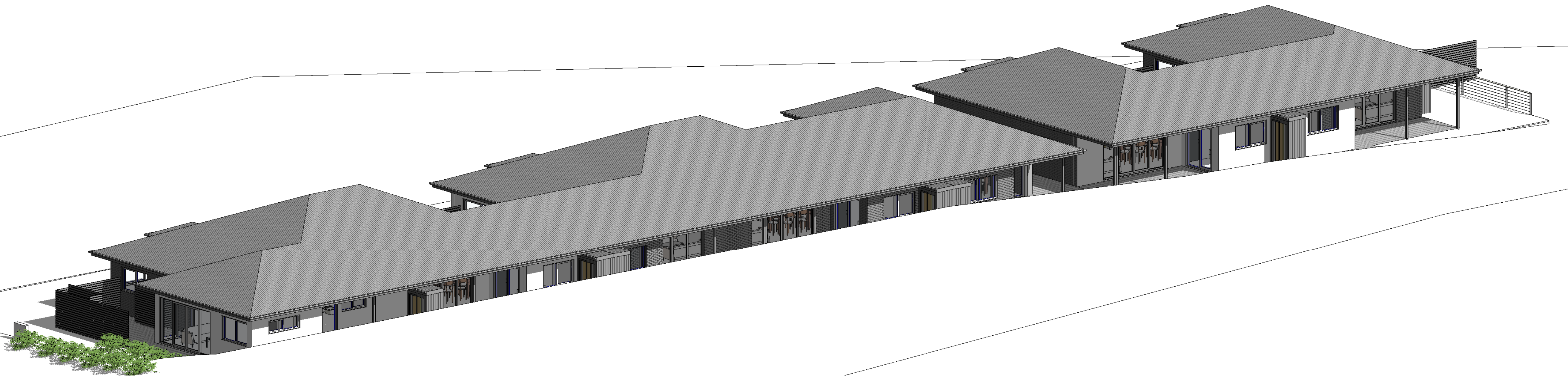
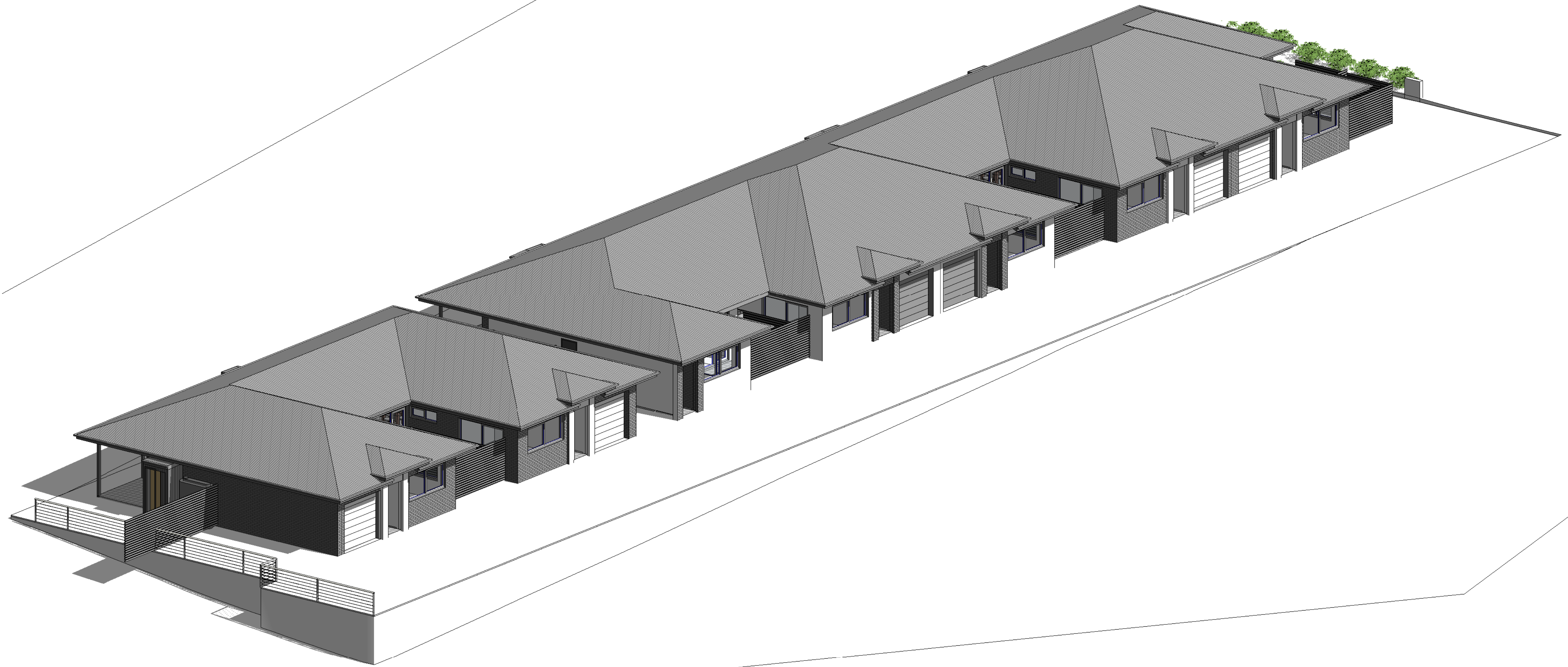


DATE: **JAN. '24**
DRAWN: **HG**
SCALE:
PR. NO: **VERNER ST**
DWG NO: **DA11.1**

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

26/01/2024 12:44:41 PM

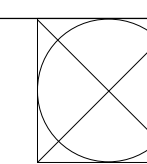


PROJECT: **TOWN HOUSE DEVELOPMENT**
ISSUE: **DEVELOPMENT APPLICATION**
DRAWING TITLE: **ISO VIEWS**

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: **GOULBURN PROJECTS**
PROJECT ADDRESS: **62 VERNER STREET, GOULBURN, NSW**

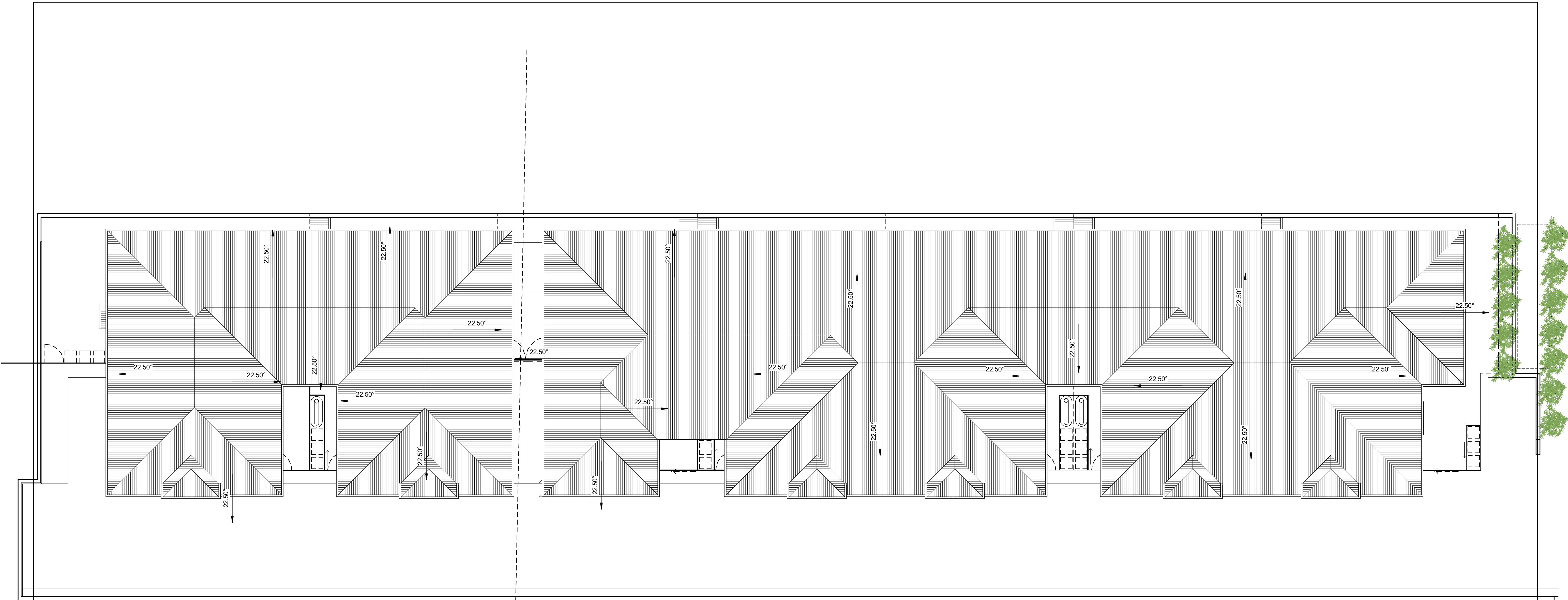
issue	date	amendment



DATE: **JAN. '24**
DRAWN: **HG**
SCALE:
PR. NO: **VERNER ST**
DWG NO: **DA12.1**



CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au



1 ROOF PLAN
1 : 100

PROJECT: TOWN HOUSE DEVELOPMENT

ISSUE: DEVELOPMENT APPLICATION

DRAWING TITLE: ROOF PLAN

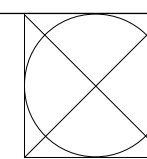
COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L

DO NOT SCALE OFF DRAWINGS. USE FIGURED
DIMENSIONS. DIMENSIONS ON
NOT TO BE USED OR COPIED WITHOUT WRITTEN
PERMISSION.

CLIENT: GOULBURN PROJECTS

PROJECT ADDRESS: 62 VERNER STREET, GOULBURN, NSW

issue	date	amendment



DATE: JAN. '24

DRAWN: HG

SCALE: 1 : 100

PR. NO: VERNER ST

DWG NO: DA15.1

HGA

HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST

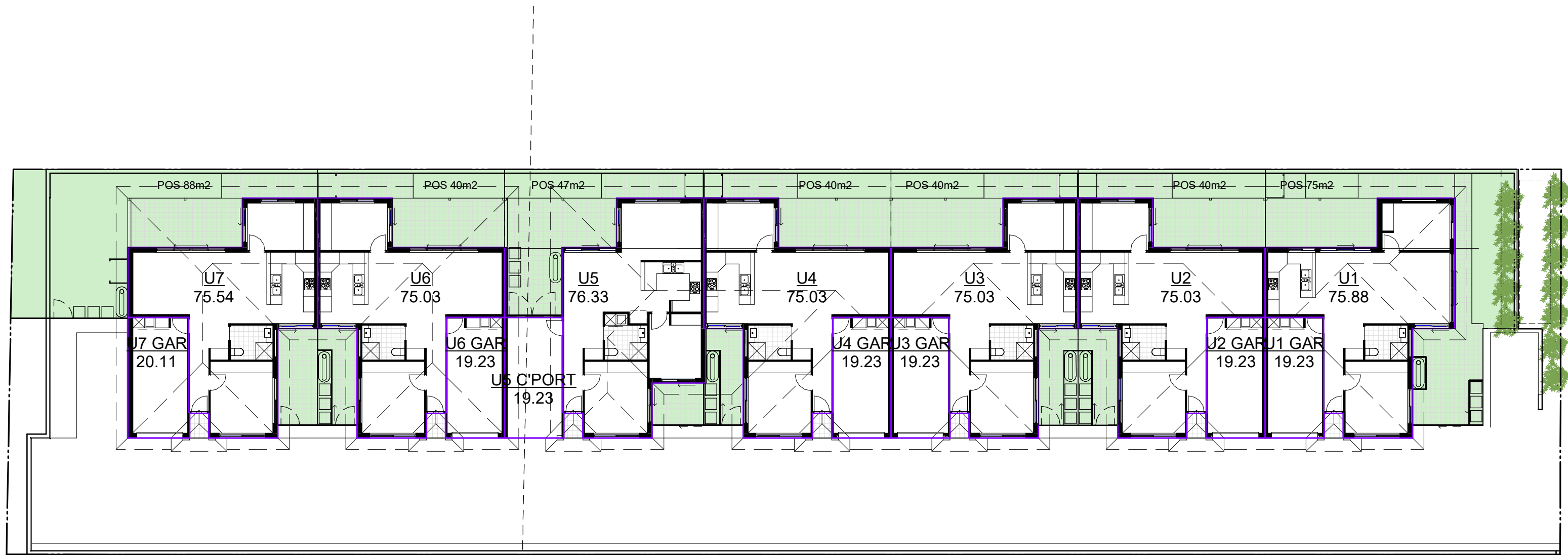
P (02) 62626433
M 0410 625 701

E design@hughgordon.com.au
W www.hughgordon.com.au

26/01/2024 12:44:45 PM

SITE AREA = 1631m2
MAX FSR = 1.5:1 = 2446.5m2

Area Schedule (Gross Building)	
Name	Area
U1	75.88
U1 GAR	19.23
U2	75.03
U2 GAR	19.23
U3	75.03
U3 GAR	19.23
U4	75.03
U4 GAR	19.23
U5	76.33
U5 C'PORT	19.23
U6	75.03
U6 GAR	19.23
U7	75.54
U7 GAR	20.11
Grand total: 14	663.34



1 FFL
1 : 200

PROJECT: TOWN HOUSE DEVELOPMENT

ISSUE: DEVELOPMENT APPLICATION

DRAWING TITLE: AREA PLANS

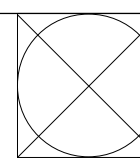
COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L

DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS

PROJECT ADDRESS: 62 VERNER STREET, GOULBURN, NSW

Issue date amendment



DATE: JAN. '24

DRAWN: HG

SCALE: 1 : 200

PR. NO: VERNER ST

DWG NO: DA16.1



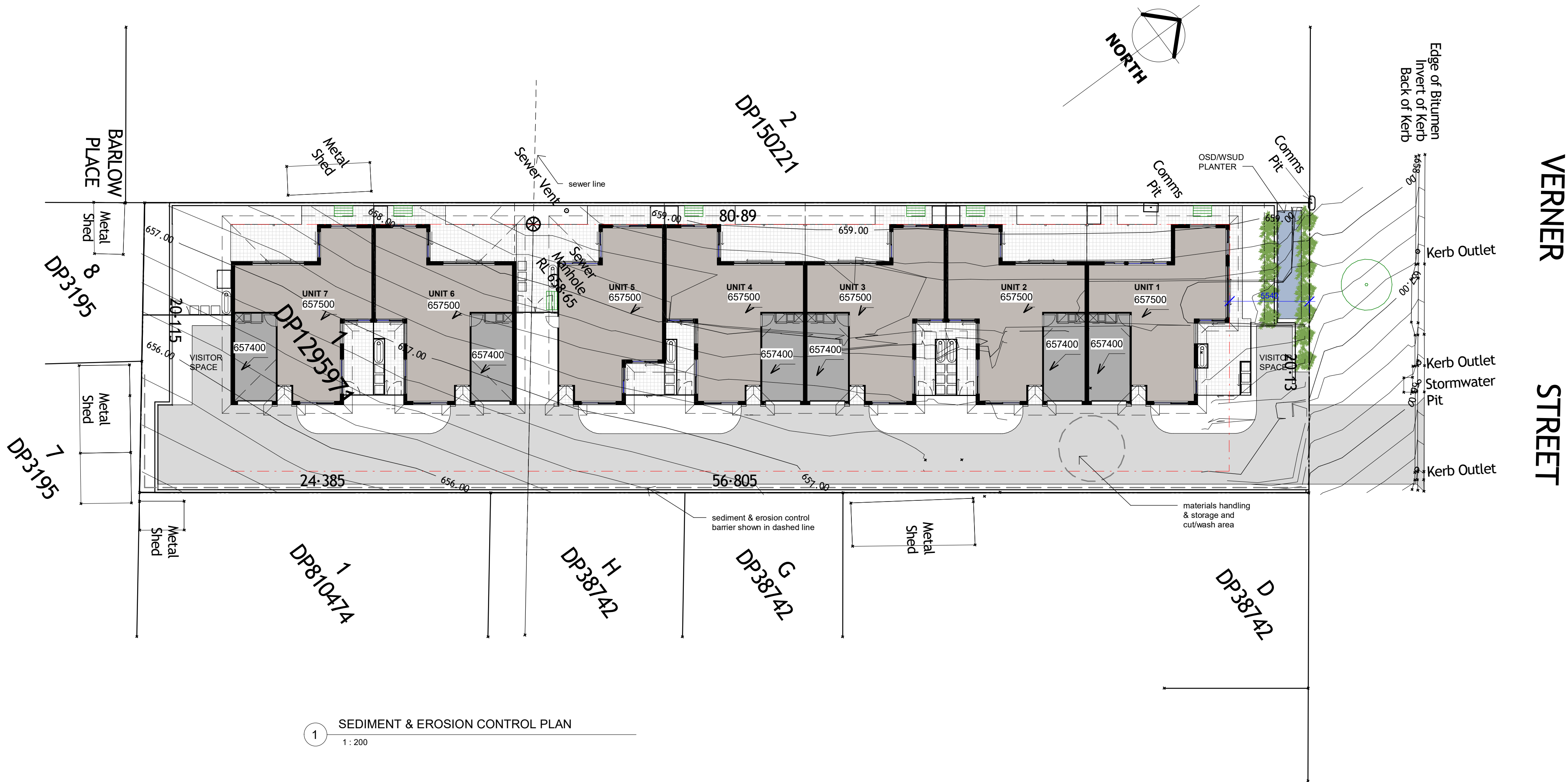
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST

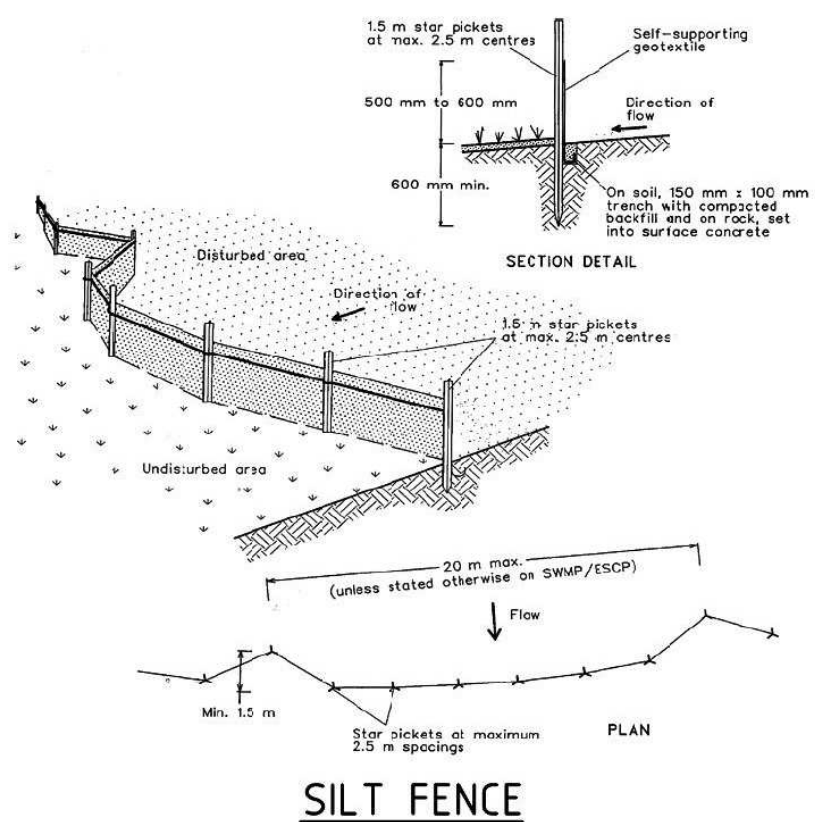
P (02) 62626433
M 0410 625 701

E design@hughgordon.com.au
W www.hughgordon.com.au

26/01/2024 12:44:51 PM



- SEDIMENT CONTROL NOTES
- Provide Sediment and erosion control barriers as shown.
 - Stock pile/s to be located away from drainage lines and surface flow paths, contoured striations or furrows to be provided to stock piles to minimize erosion.
 - Stabilised construction entrance to be constructed prior to access to site by construction vehicles. Aggregate to be turned when sediment builds up.
 - Where storm water drainage is installed to internal roadwork's, provide graded sump filter in accordance with given detail.
 - Average existing site slope is : More than 10% - sediment control barrier required
 - Total site area is : 1671 m²
 - Builder is to establish a maintenance program for sediment & Erosion control devices to ensure inspection after significant rainfall and that any repairs necessary are quickly attended to.
 - Environment protection agreement to be taken out by building contractor with Environment Protection Authority.
 - All new construction work must be contained within the site except for approved service connections and roadwork's or noted explicitly on documentation.
 - Limit access to site during and immediately after wet weather.
 - Regularly remove any soil from roads adjacent to the site.
 - No storage or construction materials, parking of vehicles nor equipment permitted outside of blocks without Authority approval.
 - No site sheds, storage sheds, site amenities to be erected outside of blocks without Authority approval.
 - Provide kerbside filter roll to existing sumps.
 - Kerbside filter rolls to be removed, cleaned and reinstated on a weekly basis at a minimum. Trapped sediment about sumps also to be removed, cleaning is also to take place immediately after periods of rainfall during construction.
 - All service trenches to be back filled within 24 hours of inspection.
 - Excess soil is to be disposed at an approved location.



1 SEDIMENT & EROSION CONTROL PLAN
1 : 200

PROJECT: TOWN HOUSE DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: SEDIMENT & EROSION CONTROL PLAN
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 62 VERNER STREET, GOULBURN, NSW

Issue	date	amendment

DATE:	JAN. '24
DRAWN:	HG
SCALE:	1 : 200
PR. NO:	VERNER ST
DWG NO:	DA17.1



CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au